

HANCOCK TOWN OFFICE- PARKING LOT & SITE ACCESSIBILITY UPGRADES

1027 VT ROUTE 100, HANCOCK, VT 05748



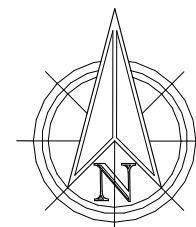
INTERSECTION OF VT ROUTE 100
& VT ROUTE 125

HISTORIC HANCOCK
TOWN HALL

HANCOCK
TOWN OFFICE

PARKING LOT

PROJECT EXTENT



1 Locator Map

SCALE: Not to Scale

ARCHITECTURAL DRAWINGS

NUMBER	NAME	ISSUE DATE
A-1.0	COVER SHEET	06/19/20
A-2.0	PROPOSED SITE PLAN	06/19/20
A-2.1	STAIR AND HANDRAIL DETAILS	06/19/20
A-2.2	PARKING LOT AND CONCRETE DETAILS	06/19/20

PROJECT DESCRIPTION/INFORMATION

Governing Building Codes

Vermont Adopted Codes and Standards

- Vermont Fire & Building Safety Code - 2015
- NFPA 1 Fire Code - 2015
- NFPA 101 Life Safety Code - 2015
- International Building Code (IBC) - 2015
- NFPA 70 National Electric Code - 2017
- Vermont Access Rules & 2012 ADA (2013 Amendment)
- 2010 Americans With Disabilities Act (ADA) Standards & Accessibility Guidelines
- 2015 National Board Inspection Code

Other Governing Regulations

Vermont Agency of Transportation Adopted Standards

- VTRANS Standard Specifications for Construction - 2018
- VTRANS Standards for Residential and Commercial Drives B-71 - 2005

PROJECT DESCRIPTION

The town of Hancock Vermont has been working with Vermont Integrated Architecture, P.C. (VIA) to develop plans for the renovation of various site elements at their town office building, located at 1027 VT Route 100 in Hancock, Vermont.

Within the proposed area of work, the project includes:

1. The removal of one of two existing paved drive aprons.
2. The re-grading of the parking lot and adjacent grassy areas to accommodate storm water.
3. The replacement of existing parking lot material with new, more stable and permeable material.
4. The addition of a paved handicap parking zone in the parking lot.
5. The replacement of damaged concrete on the existing concrete walkway.
6. The addition and reconfiguration of an ADA accessible concrete walkway to existing.
7. The repair of existing concrete stairs and landing at the building entry.
8. The installation of an ADA-compliant handrail to the existing steps at the building entry.
9. The painting of an existing metal cesspool cover.
10. The installation of a gravel drip-strip at the building's southwest corner, near the building entry.
11. Repair of any landscaping disturbed during construction.

This project is funded by the USDA in the form of a grant.

Rural Development (RD) Section 504 of the Rehabilitation Act requires projects to meet the Architectural Barriers Act (ABA). Although the standards used to implement these laws are similar to the Americans with Disability Act (ADA), in instances where they differ the more stringent mandate must be followed.

NOT FOR CONSTRUCTION

DATE ISSUED:
JUNE 29, 2020

Drawn: JG
Checked: AKM

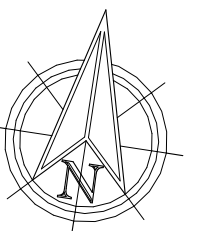
REVISIONS:

HANCOCK
TOWN OFFICE

1027 VT Route 100,
Hancock, VT 05748

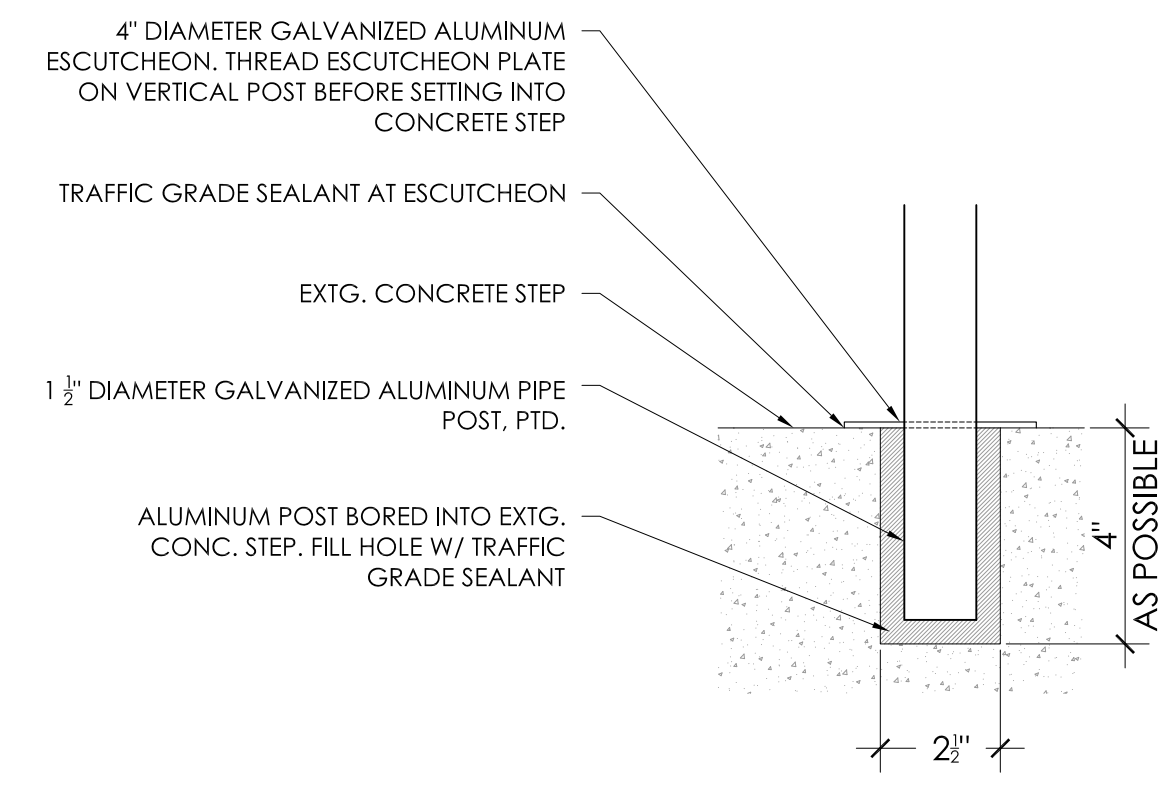
COVER SHEET

A-1.0

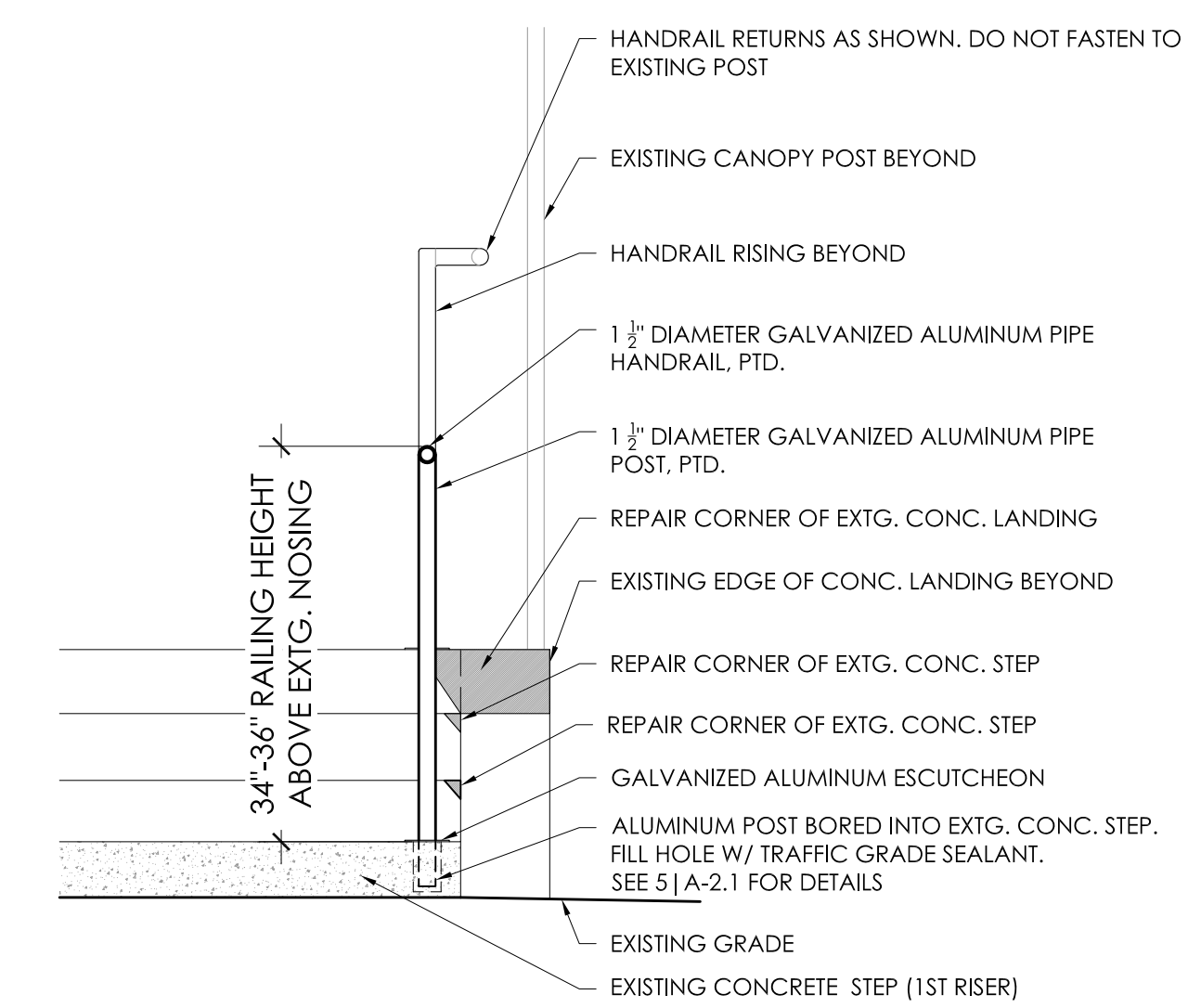


GENERAL NOTES:

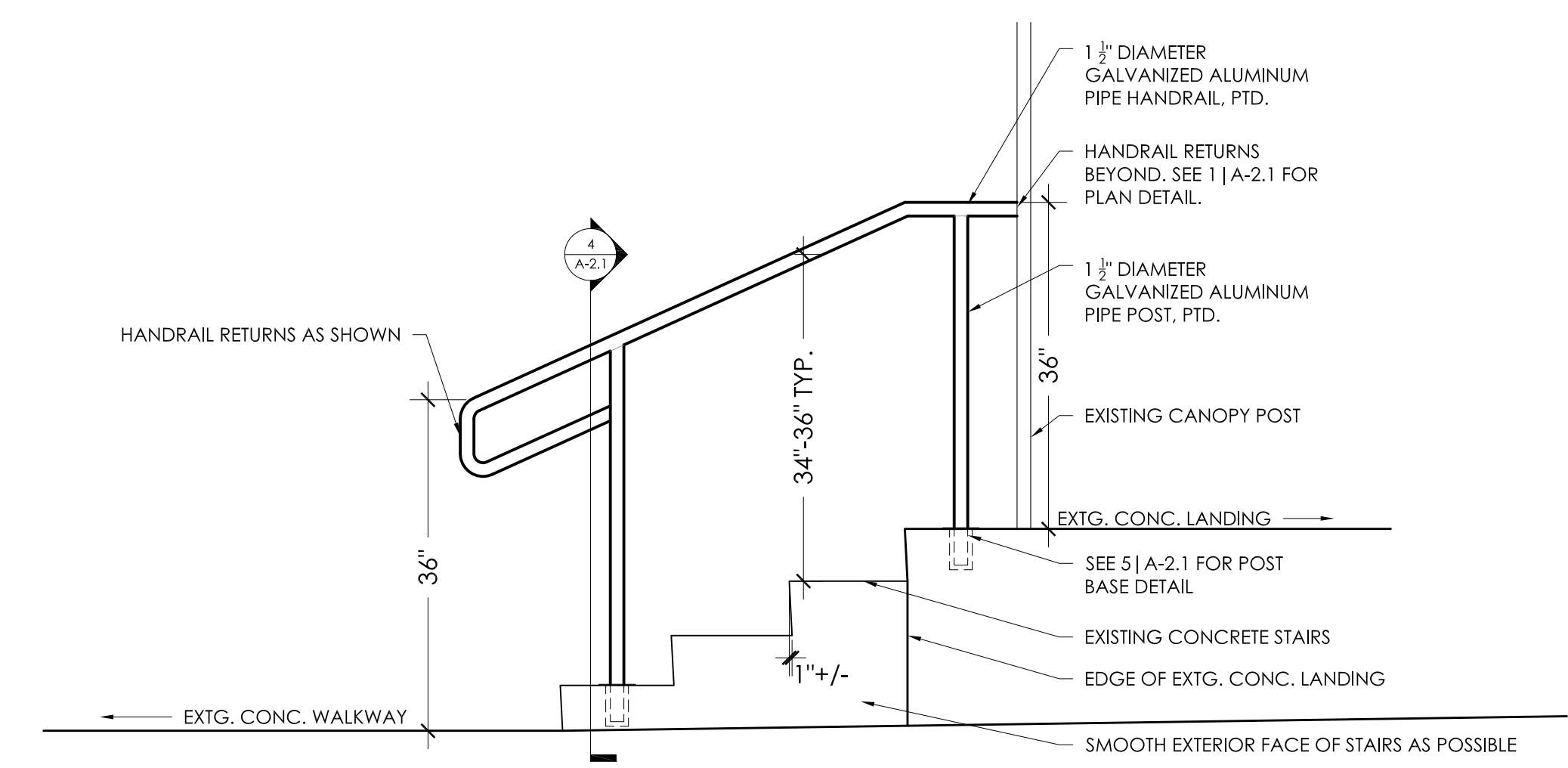
1. Verify all dimensions/conditions in-field prior to construction.
2. Specific elevation points have been surveyed. All other topography shown has been interpolated and must be verified in-field by the contractor prior to construction.
3. Typical existing walkway slope is .25:12 +/- . Contractor to verify in-field.
4. Provide \$1500.00 landscaping allowance for gardens at walkway.
5. All construction in parking lot area shall conform to the Vermont Agency of Transportation 2018 Standard Specifications for Construction.



5 Post Base Detail
 SCALE: 3/4" = 1' - 0"



4 Typical Railing Section Detail
 SCALE: 3/4" = 1' - 0"

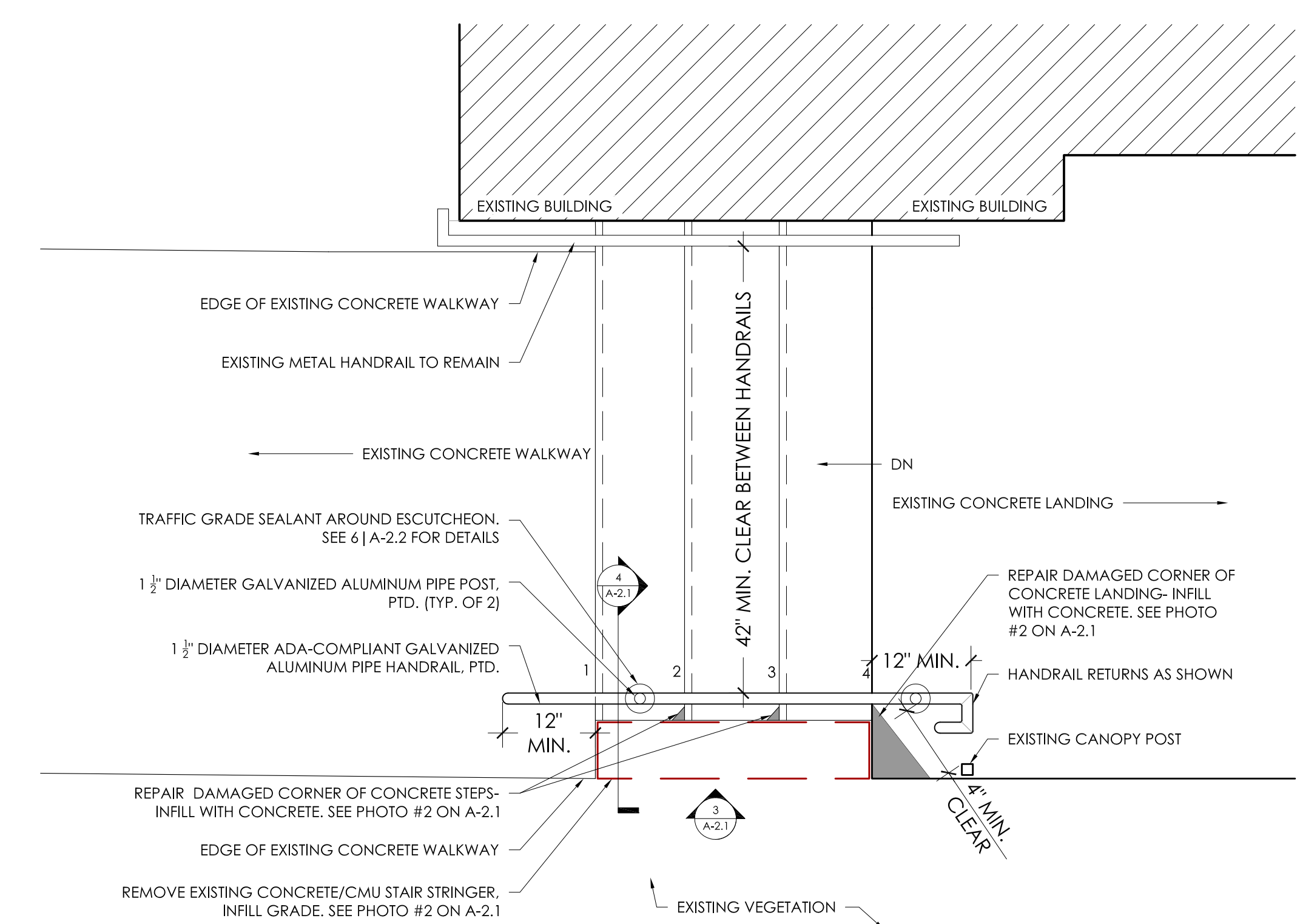


3 Railing Elevation
 SCALE: 3/4" = 1' - 0"



- REPAIR DAMAGED CORNER OF EXISTING CONCRETE LANDING
- REPAIR DAMAGED CORNER OF EXISTING CONCRETE STEPS
- REMOVE EXISTING CONCRETE STRINGER UNIT AND ASSOCIATED CMU'S. INFILL GRADE.
- REMOVE CONCRETE MEMBER
- REMOVE DEBRIS. REPAIR CONCRETE BELOW AS NECESSARY

2 Existing Stair Condition Photo
 SCALE: Not to Scale



1 Enlarged Plan at Stairs
 SCALE: 3/4" = 1' - 0"

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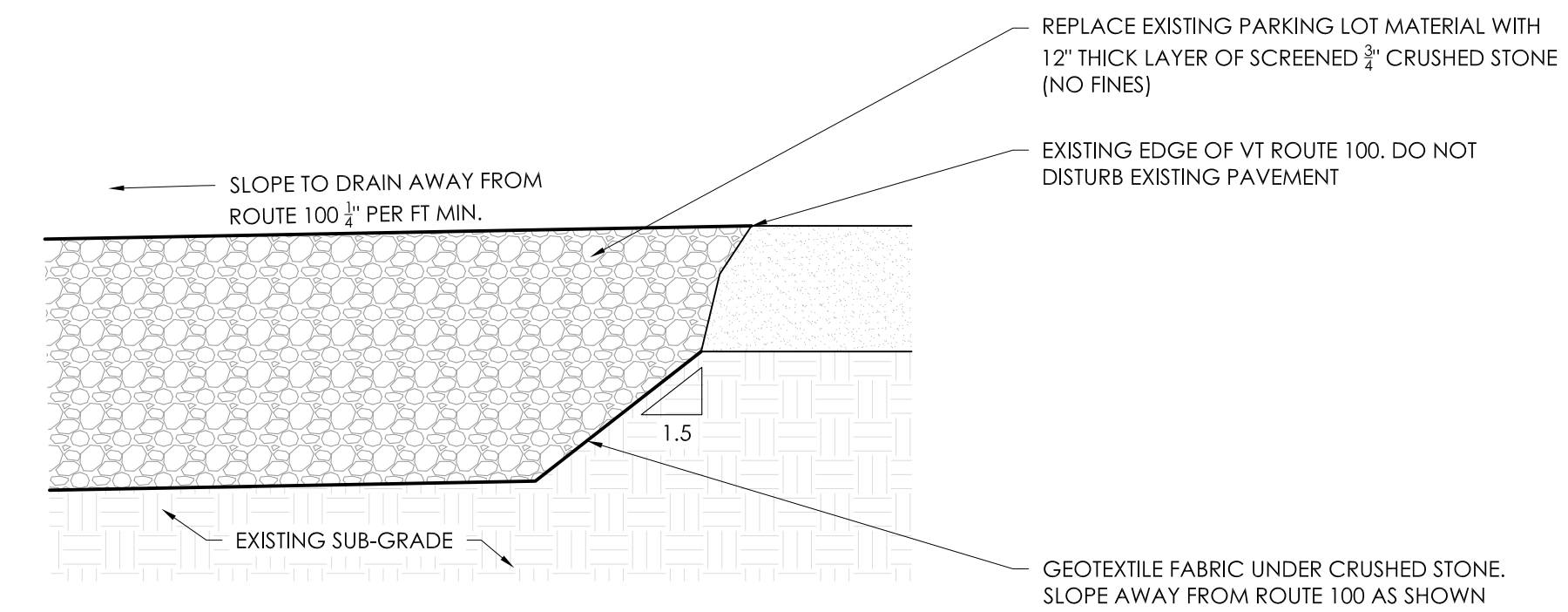
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STAIR & HANDRAIL DETAILS

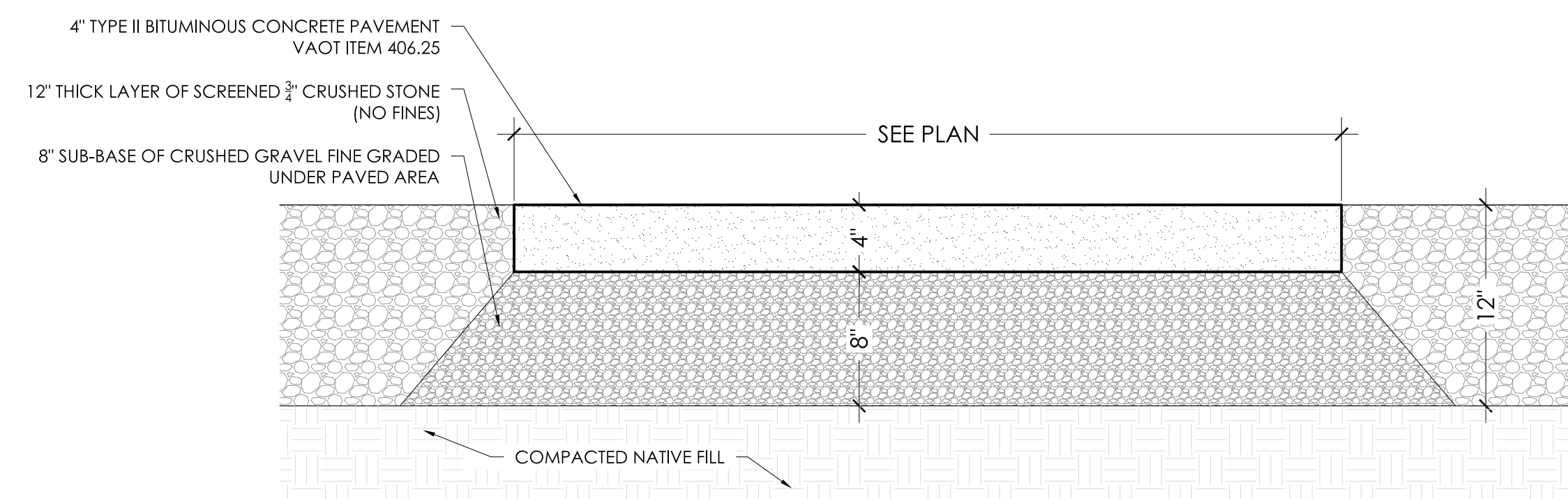
A-2.1

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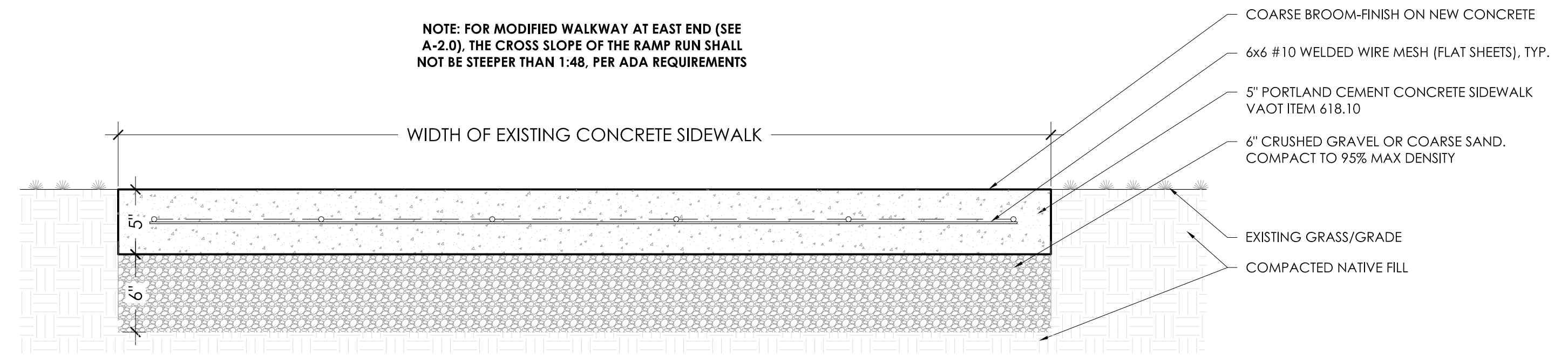
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3 Typical Driveway Reconstruction Detail
SCALE: 1 1/2" = 1' - 0"



2 Pavement Detail at ADA Parking Space
SCALE: 1 1/2" = 1' - 0"



1 Typical Sidewalk Detail
SCALE: 1 1/2" = 1' - 0"

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PARKING LOT & CONCRETE DETAILS

A-2.2